

Residential Development



This Information Sheet does not take into consideration development that is covered under Schedule 1A and Schedule 4 of the Development Regulation 2008.

The City of Mitcham has a series of policies in its Development Plan which deal with many aspects of residential development.

The Residential Zones within the City of Mitcham include:

- Residential (East Plains) Zone;
- Residential (Central Plains) Zone;
- Residential (Foothills) Zone;
- Residential (Hills) Zone;
- Residential (Blackwood Urban) Zone;
- Historic (Conservation) Zone – Belair Village;
- State Heritage Area (Colonel Light Gardens);
- Residential (Craigburn) Zone
- Historic (Conservation) Zone – Mitcham Village

Contained within the boundaries of some of these Zones are defined Policy Areas which introduce further specific policies applicable to those areas.

The principal objectives guiding Council in promoting good residential development are:

- to establish safe, attractive and pleasant areas in which to live, with development being of a nature which maintains the desired character of the specific Zones;
- to allow efficient and effective use of urban infrastructure and services through appropriate location, design and density of development;
- to provide for a range of dwellings that meet the needs of residents; and
- to encourage sufficient increase in housing numbers to allow for some increase in overall population.

What is this Information Sheet about?

People wishing to build dwellings and other forms of residential development should consider carefully the Development Plan when submitting their proposals.

The purpose of this Information Sheet is to outline only the key features of the policies. This information is of an advisory nature and does not replace the more comprehensive set of policies contained in the Development Plan. You are urged to contact the planning department staff at the Council Civic Centre with any specific enquiries or to discuss proposals to build. This could save you time and money.

Special provisions which relate to development under the Residential Code and development within the Residential (Craigburn) Zone, Colonel Light Gardens State Heritage Area and Historic (Conservation) Zone – Mitcham and Belair Villages are not outlined in this Information Sheet.

Land Use Elements

Principal Use

Land within the Residential Zone is to be used predominantly for residential development of varying densities. Boarding houses and multiple dwellings are not allowed in the Zones, nor are residential flat buildings (apart from the Residential (Blackwood Urban) Zone). However, residential flat buildings containing up to 2 dwellings may be possible in the Residential (Central Plains) and the Residential (Hills) Zones.

Non-residential development is strictly limited.

Home Activity

Home activities are possible provided they comply with the criteria set down in the Development Regulations – see **Home Activity** Information Sheet.

However, any signage advertising such an activity should be discreet, not detract from the prevailing amenity, and comply with the following:

- Maximum overall height 1.5 m;
- Maximum surface area 0.2 m².

Domestic Outbuildings

If a domestic outbuilding does not fit the Schedule 1A or Schedule 4 criteria, the following applies:

Garages, shed and the like are to be of a design, size, finish and siting so as to minimise visual intrusion to neighbouring development and to the streetscape. They should not significantly reduce the amount of useable outdoor space available to the occupants of the site.

Domestic outbuildings are to be:

- Accessory to an existing dwelling;
- Not more than 40 m² in the State Heritage Area (Colonel Light Gardens Zone);
- Not greater than 40 m² in the Historic (Conservation) Zone/Policy Area, unless the outbuilding does not impact on the heritage values of the zone or policy area, in which case it should not be greater than 56 m²;
- Not greater than 56 m² in any other zone or policy area;
- Not have a wall height greater than 2.4 m (or 3.6 m to the top of the gable); and
- Have finished surfaces that blend with existing dwellings and in keeping with the area's character (except in designated historic area, metal clad walls and roofs are to have pre-coated finish).

Dependent Relative Accommodation

Additional accommodation in the form of a residence (but not a self-contained dwelling) to care for one or two relatives is possible, provided:

- It is on a site greater than 600 m² in area;
- The land is not further subdivided;
- The additional accommodation does not exceed 60 m² in floor area;
- It has shared private open space of at least 100 m² available for use by the occupants;
- Extra carparking is provided exclusively for the dependent relative(s); and
- The building is visually linked or unified with the original dwelling and reflects the latter's overall style and appearance.

Aged Care Accommodation

Accommodation in this nature may be developed within residential areas provided it:

- Is in close proximity to shops, health and like services, and to public transport;
- Is not located on physically unsuitable land (ie steeply sloped);
- Promotes interaction with the community and does not isolate the aged or disabled;
- Has access roads which are not too steep and allow ready access for emergency and other vehicles;
- Has adequate and convenient car and bus parking available, with generous manoeuvring space and level surfaces; and
- Where applicable, has secure covered car parking facilities for residents.

The scale, design and bulk of buildings and facilities should reflect the style and character of their residential surroundings and promote:

- Safe and convenient living conditions, along with pleasant and functional open space and landscaping, to meet the living and social needs and activities of residents;
- Ready access, both internal and external, to all facilities on the site;
- Good disability design principles; and
- Storage space for personal and bulky items.

Land Division

Where land is divided for residential use, its design and configuration should be consistent with the existing pattern of division in the area and create allotments which have a regular shape, allow dwellings to relate to the street, and avoid unusable spaces being formed.

In designing new allotments, the need to accommodate a dwelling and outbuildings on the site, provide access to the land and car parking, and allow for building setbacks, functional private open space, service areas and landscaping, has to be taken into account.

Siting

Site Coverage

Site coverage is the area of the site that is actually covered by buildings, including dwelling, sheds, garages, carports etc at ground level.

Other than development that fits the criteria of Schedule 1A and Schedule 4 of Development Regulations 2008, the following applies:

The maximum site coverage for dwellings in any Residential Zone, other than Residential (Hills), Residential (Craigburn), and Residential (Foothills) is:

- 40% for the total ground floor area (including verandahs, carports, garages etc);
- 60% for impervious surfaces (including buildings, driveways, car parks, paving etc).

Where dwellings contain more than one storey or floor levels above the ground, the total floor area of the development should not exceed 50% of the site area.

Site Areas and Dimensions

Table 1 (see page 10) outlines the minimum requirements for various residential developments as well as indicating the kind of developments not allowed in particular Zones.

Allotment areas and configurations should generally result in:

- Residential development that complements the Zone's objectives and desired character;
- Vehicle access and on-site car parking that is safe and convenient;
- Adequate provision for private open space;
- Adequate setbacks, landscaping and space around buildings as buffers for adjoining users;

- Appropriate solar access; and
- A rectangular space measuring not less than 10m x 15m which is suitable for the construction of a dwelling.

Setbacks and Space around Boundaries

Table 2 sets out the minimum front setback distances from road boundaries.

Table 2 – Minimum front setbacks to buildings

	Development Plan Complying	On Merit (Consent)	
	Single Storey	Single Storey	Upper Storey Component
Arterial roads	10m	10m	10m
Established streetscape Neighbouring buildings either side	8m	The average front setback of the 2 buildings	The average front setback of the 2 buildings
Established streetscape none or only one neighbouring building	8m	Predominant front setback in immediate locality	Predominant front setback in the immediate locality
Situation not described above	8m	6m	7.5m
Corner allotments (secondary frontage other than arterial roads)	3m	3m	6m
Garages/Carports		1m more than the main face of the dwelling	

Generally, the setback of buildings should promote an attractive streetscape through landscaping the front setback area, and by complementing prevailing setback distances in the area, providing space for car parking and reducing traffic noise for occupants.

Setback distances from side and rear property boundaries should conform to the standards listed in Table 3.

Table 3 – Space around Buildings

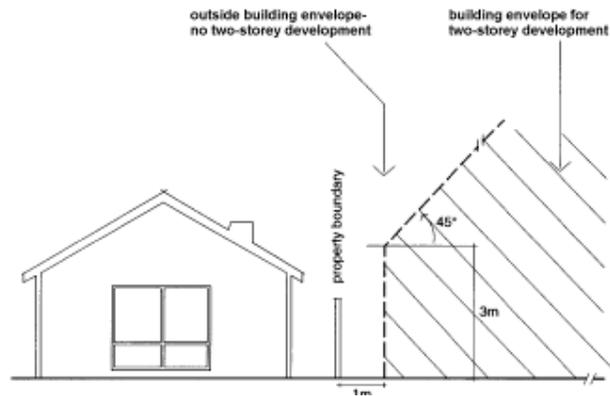
	Lots less the 450m ²	Lots greater than 450m ²	Double storey
Side boundaries*	1m on both sides	1m on one side 3m on other side	1m plus an additional 1m Setback for every 1m beyond a 3m height**
Rear boundaries***	5m	5m	8m

* Garages or open-sided carports may be built to one side boundary (NB: in the Mount Lofty Ranges Bushfire Prone Policy Area, vehicle access to rear yard must be available)

** Refer to Fig R/1 to ascertain vertical building envelope

*** Domestic outbuildings excepted

Figure R/1 – Two-storey Development Side Boundary Building Envelope



Setbacks should be designed to:

- Maintain the amenity of adjoining dwellings in terms of noise, privacy and sunlight;
- Minimise impacts associated with the bulk and scale of buildings and with potential overlooking from upper floors;
- Provide adequate levels of daylight to habitable rooms; and
- Create space between buildings for amenity and aesthetic reasons.

Building layout on a site is important to help create a sense of unbuilt space on the land, which is available for landscaping, and a more open relationship or visual break between adjoining properties and their buildings.

Design and Form

Private Open Space

Private open space is an area or areas provided at the rear of a site for the exclusive enjoyment and use by the occupants for the purposes of relaxation, leisure, play, entertainment, storage and other utilitarian activities.

Private open space should form an integral part of all residential development. It should be fenced or otherwise screened from view from adjoining streets, for privacy, and located to take advantage of winter sunlight and shade in summer.

The minimum criteria for private open space should:

- Form a rectangular area of at least 8 m x 5 m (for sites 450 m² or more in area) and 6 m x 4 m (for small sites having a gradient less than 1:8);
- Have a minimum dimension of 2.5m;
- Not include driveways or car parking space; and
- Contain an area not less than 20% of the total site area.

Building Height and Bulk

Dwellings should be designed to be complementary to the character and amenity of adjoining development and the streetscape, and avoid dominating the locality by virtue of inappropriate size and bulk.

Dwellings should not be greater than 2 storeys or more than 8 m in height to the highest point of the building above natural ground level.

Dwellings of more than one storey must minimize overshadowing and visual intrusion onto adjoining properties due to differences in scale.

When dwellings are proposed for sloping sites, especially of 2 storey construction, the building and roof forms are to be articulated and preferably of split level design so that the profile corresponds to the natural slope of the land. Cut and fill affecting the land can therefore be minimised as can the visual bulk of the building.

Privacy

The privacy of adjoining residents should be respected by designing and siting dwellings so as to lessen the potential nuisance from noise between buildings and from vehicles using the land.

The setback between dwellings containing windows or balconies facing each other should be at least 8 m where no common fence exists.

The setback between a wall containing a living area window and a common driveway shared by 2 or more dwellings should be at least 2.5 m.

Fences between private open space and adjoining sites or common property are to be at least 1.8 m in height and be constructed of opaque material.

Development greater than single storey needs to be designed to avoid direct overlooking of neighbouring private open space or into windows of adjoining dwellings. Upper storey windows should have screening or opaque glass to 1.7 m height above floor level to achieve this.

Building Orientation

Dwellings should be orientated to capitalise on the use of passive solar energy by maximising ventilation and minimising solar gain in summer and vice versa in winter.

Dwellings should also be designed in accordance with the energy efficiency requirements set out in the BCA.

Heritage Conservation

A number of local heritage places have been listed in the Development Plan (see Table Mit/4 in Council's Development Plan). Any development of, or adjacent to, these items needs to be sympathetic to the prevailing historic character and streetscape features that contribute to that heritage by:

- Utilizing designs and techniques that refer to the materials, colours, scale, roof form, and fencing (if relevant) that make up the heritage fabric; and
- Reinforcing the predominant pattern of building setbacks.

Site Development and Services

Driveways and Access

Residential development must be physically accessible to and by vehicles. Driveways should be safe and convenient to use and be located to reduce their potential impact on adjoining dwellings.

Driveway access should:

- Have a maximum gradient of 1:5 (anything over this must be designed by a professional engineer);
- Where it is to serve more than 3 dwellings on an allotment, have a minimum pavement widths of 5.5 m;
- Where it is on to an arterial or collector road, have a pavement width of not less than 6 m for the first 5 m of its length (alternative designs which allow vehicles to exit the site in a forward direction can be considered);
- Allow for at least a 1 m wide landscape strip along one side of the driveway or between the driveway and a side boundary; and
- Have dimensions for vehicle manoeuvring consistent with AS2890.1.2004 (or as revised).

Car Parking

Provision needs to be made for the adequate on-site car parking to meet the needs of residents and visitors with least disturbance to nearby properties and to the free flow of traffic on abutting streets.

The minimum number of on-site car parking spaces applicable should conform to the standards set out in Table 4.

Table 4 - Car Parking Requirements

	Number of spaces	Visitor parking (additional)
Dwellings –		
1 bedroom	1	-
2 or more bedrooms	2	-
Multi-dwelling development (3 or more dwellings)*		
1 bedroom	1	1 per every 2 dwellings
2 or more bedrooms	2	1 per every 2 dwellings

* This does not include development comprising a hostel, nursing home or aged persons accommodation

Car parking areas should generally be screened from public places by fencing and/or landscaping.

Car parking spaces should be individually accessible from a driveway and be designed in accordance with AS2890.1.20114 (or as revised).

Landscaping

The planting of trees, shrubs and ground covers is an important part of any residential development. The purpose of landscaping is to provide effective screening and shade as well as to enhance the appearance and pleasantness of the site and its settings.

The impact of any development, including excavation and filling and swimming pools, on existing vegetation should be minimised and should not involve the removal of any remnant native vegetation or significant trees etc.

Landscaping should be undertaken with all development. Species should be of a type and size appropriate to their location and have regard to the list contained in Table Mit/2 of the Development Plan.

Services

All services associated with residential development should be installed underground in both public and private areas and, where possible, use common trenches and connect to each allotment at a single point.

Stormwater Management

New dwellings, or additions to existing dwellings which increase the floor area should limit the rate of stormwater discharge from the land by:

- Collecting and directing stormwater from at least 60% of the roof area to a rainwater retention/detention tank (see **Rainwater Tank** Information Sheet), with outflow directed to landscaped or unpaved land (and contained so as not to cause flooding problems) or to a rear of allotment drain; and
- Designing and constructing at least 50% of hard paved areas to allow surface run-off largely to landscaped or unpaved land.

Major residential development and land division should incorporate sound stormwater management practices that:

- Encourage water conservation and water quality improvement through on-site retention and appropriate oil/grease arrestors etc;
- Accommodates minor surplus flows within an underground piped system;
- Directs major flows through areas of open space designed and controlled to prevent erosion or leading to flooding of buildings;
- Maintains existing creek lines and swales to permit the free and uninterrupted flow of major stormwater events, incorporating appropriate water quality control measures; and
- Ensures the design capacity of dam stream systems are not prejudiced.

Flood Prone Land

Dwellings must be sited and designed so that finished ground floor levels will not be inundated by floodwaters generated by a 1:100 year flood event and will not impede the natural flows of the watercourse. As a result, proposed dwellings on any lot identified on Figures WC/2-14 of the Development Plan are treated as Merit applications not Complying development.

Retaining Walls and Earthworks

Earthworks resulting in the filling and/or excavation of land greater than 1.5 m above or below natural ground surface are to be avoided. Earthworks undertaken should be screened from public view by landscaping or the form of the proposed building.

Retaining walls over 1 m in height are to be:

- Located at least 1 m inside the boundary of the dwelling site;
- Not greater than 1.5 m high; and
- Constructed to allow landscaping above and over the wall if located closer to the road boundary than the dwelling.

Residential Development Containing Two Or More Dwellings

Design and Siting

This form of development should be of a design, siting, scale and form to reflect the desired character and built-form of the area, add visual interest, and to take advantage of available views.

Development should minimise impacts related to privacy to adjoining dwellings and traffic noise from abutting roads through these careful siting and design measures:

- Minimising the number of dwellings abutting any one property boundary; and
- Ensuring any driveway is sited no closer than 1 m from an adjacent property boundary.

Utility Areas and Facilities

Development should contain communal car parking facilities located so as not to block views from dwellings yet allow casual surveillance by residents.

Dwellings in such a development should be provided with:

- An area for storage and collection of refuse bins, which is clean, screened and convenient to residents and refuse collection services;
- A grouped mail box area, located conveniently and unobtrusively; and
- A private storage and clothes drying area(s) where upper storey dwelling do not have exclusive yard area.

The above information is advisory and a guide only to give you a general understanding of the key points associated with the approval system. It is recommended that you seek professional advice or contact the City of Mitcham, Development Services on 8372 8888 or email development@mitchamcouncil.sa.gov.au regarding any specific enquiries or further assistance concerning the use and development of land. Being properly prepared can save you time and money in the long run.

Table 1 – Site Areas and Dimensions for Forms of Residential Development

RESIDENTIAL ZONE	Minimum Site AREA per dwelling (square metres)					Minimum site ROAD FRONTAGE per dwelling (metres)				
	Detached	Semi-detached	Group	Row	Other	Detached	Semi-detached*	Group	Row**	Residential Flat Building
East Plains	800	800	800	X	X	20 (avg width)	20 (avg width)	20 (avg width)	X	x
Central Plains										
Area 8	500	425	400	400	400	15	9	12	7/8‡	18
Area 9	550	450	450	450	450	15	9	12	7/8‡	18
Area 10	500	425	400	400	400	15	9	12	7/8‡	18
Area 11	350	350	350	350	350	15	9	12	7/8‡	18
Foothills										
Slope less than 1:8	700	450	500	X	X	12	9	12	X	X
Slope between 1:4 and 1:8	900	X	700	X	X	15	X	15	X	X
Slope greater than 1:4	1,200	X	900	X	X	20	X	20	X	X
Hills										
Slope less than 1:8	1,200	600	700	X	600	12	11	X	X	11
Slope between 1:4 and 1:8	1,500	X	1,200	X	X	21	X	X	X	X
Slope greater than 1:4	2,000	X	1,600	X	X	30	X	X	X	X
Blackwood Urban	450	-	-	-	-	15	9	12	7/8	18

X Non-complying or non-conforming

***** Where applicable, frontage to be increased to 12m where a site has a frontage onto an arterial road

****** Width increases to 8m where no provision is made for vehicle access at the rear of each dwelling site

NB: Land division in Central Plains Zone creating an allotment with a frontage of less than 9 metres to a public road is non-complying

‡ 7m where provision is made for vehicle access at rear of each dwelling site

8m where no provision is made for vehicle access at rear of each dwelling site