

Tennis Court Lighting & Fencing



CITY OF
MITCHAM

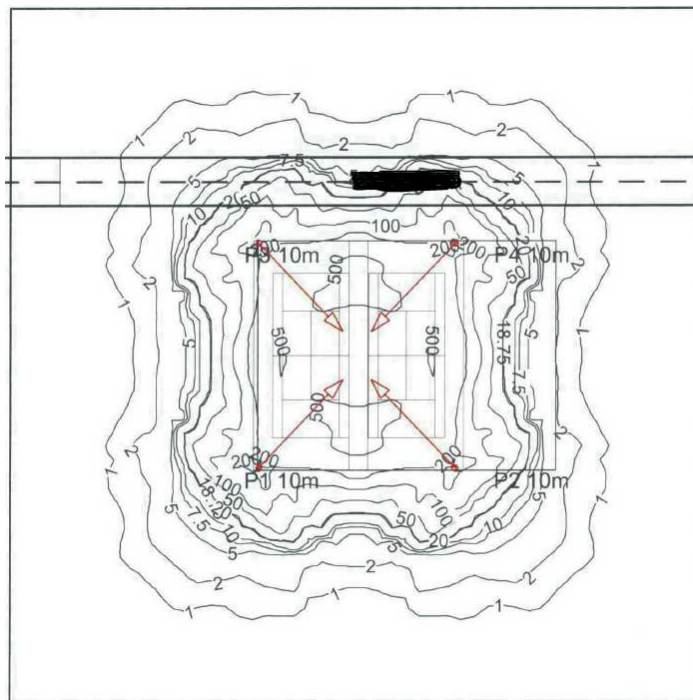
The construction and or replacement of tennis court lighting and fencing are development and therefore require Council approval.

Earthworks associated with the construction of tennis courts is also development in the following areas - Residential (Hills), Residential (Foothills) within the suburb of Bedford Park, Residential (Blackwood Urban), Neighbourhood Centre Zone within the suburb of Belair, Rural Landscape, Special Use, Commercial (Main Road), Commercial (Coromandel Parade) and Hills Face zones.

Retaining walls (if required) are development if exceeding 1m in height in any zone.

Tennis Court lighting should be directed downwards and towards the site to prevent significant light spill beyond the site boundaries that may detract from the amenity of other land or cause a distraction to motorists. Light spill beyond the subject site should be within the limits prescribed in AS4282-1997.

Tennis court lighting (at any height) and boundary fencing exceeding 2.1m in height are likely to be notified to neighbours by Council.



Example of a type of light spill plan

Street Address:
131 Belair Road
Torrens Park SA 5062

Postal Address:
PO Box 21
Mitcham Shopping Centre
Torrens Park SA 5062

Phone: (08) 8372 8888
Fax: (08) 8372 8101
mitcham@mitchamcouncil.sa.gov.au
www.mitchamcouncil.sa.gov.au

Development Approval Information Required

The following information must be submitted:

- Completed Development Application Form
- Application Fees
- Copy of Certificate of Title
- Signed Powerline Declaration Form.

Plans should be to scale (metric), and showing clearly the following information where applicable:

Site Plan

- Minimum scale not less than 1:200
- Boundaries and dimensions of site
- Position and dimensions of the minimum front and side setbacks of any existing or proposed building on the site
- Existing and proposed finished levels (essential in Hills & Foothills)
- Location of any **significant or regulated tree** on site or on adjoining land that may be affected by the work, or that might affect the work proposed
- North point
- Position and dimensions of any **existing** and **proposed** building(s) (including fences and retaining walls), showing distance and relationship to the boundaries of the site
- Purpose for which any existing building on the site is used and for which any proposed building on the site is intended to be used

Elevation Plan

- The elevation of all poles and fencing showing detailed information regarding the type of light at the top of each pole

Support Details

- Schedule of building materials, finishes and colours
- Light spill report showing lux level diagrams to be provided by a suitably qualified engineer
- Lighting usage times and frequency of use (days of the week)
- Fencing type, materials and style

Building Information

- Specifications and schedules
- Footing construction report
- Structural calculations
- Wind Speed details
- Copy of Building Indemnity Insurance (work >\$12,000)
- Proof of payment of Construction Industry Training Levy (CITB) if work >\$40,000.

NOTE: The information provided in this article is only intended to be a summary. All applications will be considered on their individual merits and therefore situations may vary. If you have any enquires please contact the City of Mitcham, Development Services on 8372 8888 or email development@mitchamcouncil.sa.gov.au